

# VILLAGE OF PLAINFIELD

## ADDITION/REMODELING REQUIREMENTS

The following is a guideline of requirements that need to be met along with the completed application.

### APPLICATION:

- ❖ Submit a completed application.
- ❖ Submit two (2) copies of your **current** plat of survey indicating the location of the addition and indicate how far off the front yard, side yard(s) and rear yard the addition will be.
- ❖ Complete the **Addition Material Worksheet**.
- ❖ Submit two (2) copies of the complete floor plan with electrical & plumbing locations.
- ❖ Include all elevations and roof plans.
- ❖ Check with your Homeowners Association regarding covenant restrictions.
- ❖ Contact **JULIE, INC. @ 1 (800) 892-0123** – Two (2) working days **prior** to digging to locate utilities.

### CODE REQUIREMENTS:

- ❖ The addition **cannot** be located within **any** easement.
- ❖ See Residential Plan Review Requirements.
- ❖ See Residential Construction Requirements.

### INSPECTIONS:

- ❖ See attached Inspection list for Additions/Remodeling Construction.

### PERMIT FEE:

- ❖ The addition permit fee is based on **.03¢** per cubic foot. The Electric and Plumbing inspections are **\$25.00** per inspection.

**NOTE: If permit is not picked up within 30 days of approval it will be VOIDED and you will have to reapply.**

# VILLAGE OF PLAINFIELD

## RECAPITULATION OF BUILDING CODES

**THE VILLAGE OF PLAINFIELD UTILIZES THE FOLLOWING CODES DURING THE PLAN REVIEW AND INSPECTION PROCESS:**

### BUILDING

- ❑ 2003 INTERNATIONAL BUILDING CODE
- ❑ 2003 INTERNATIONAL RESIDENTIAL CODE
- ❑ 2009 INTERNATIONAL ENERGY CONSERVATION CODE – RESIDENTIAL
- ❑ 2009 INTERNATIONAL ENERGY CONSERVATION CODE - COMMERCIAL
- ❑ 2003 INTERNATIONAL PROPERTY MAINTENANCE CODE
- ❑ 2007 VILLAGE OF PLAINFIELD BUILDING CODE
- ❑ STATE OF ILLINOIS ACCESSIBILITY CODE – 5/97 ISSUE

### ELECTRICAL

- ❑ 2005 NATIONAL ELECTRICAL CODE (NEC)
- ❑ 2007 VILLAGE OF PLAINFIELD BUILDING CODE

### MECHANICAL

- ❑ 2003 INTERNATIONAL MECHANICAL CODE

### PLUMBING

- ❑ 2004 STATE OF ILLINOIS PLUMBING CODE (INCLUDING ALL LATEST AMENDMENTS AND NEW SECTIONS ADOPTED)
- ❑ 2007 VILLAGE OF PLAINFIELD BUILDING CODE

### FIRE PREVENTION

- ❑ 2003 INTERNATIONAL FIRE CODE – (INCLUDING ALL LATEST PLAINFIELD FIRE AMENDMENTS AND NEW SECTIONS ADOPTED)

NOTE: FIRE PROTECTION REQUIRES INSPECTIONS FOR ALL COMMERCIAL, INDUSTRIAL, INSTITUTIONAL BUILDINGS AND RESIDENTIAL STRUCTURES OVER TWO (2) UNITS.

# VILLAGE OF PLAINFIELD

## ADDITION/REMODELING PERMIT APPLICATION

ADDRESS: \_\_\_\_\_ Zoning: \_\_\_\_\_

Subdivision: \_\_\_\_\_ Flood Plain: Yes / No

Building Proposed: \_\_\_\_\_

Estimated Value: \$ \_\_\_\_\_

SQUARE FOOTAGE LIVING AREA	CUBIC FEET	ROOMS/QUANTITY
1 <sup>st</sup> Floor:	1 <sup>st</sup> Floor:	Bedrooms:
2 <sup>nd</sup> Floor:	2 <sup>nd</sup> Floor:	Bathrooms:
Basement:	Basement:	Garage/Cars:
Garage:	Garage:	Stories:
<b>Total:</b>	<b>Total:</b>	
Deck Sq. Footage:		

### CONTRACTOR'S

**GENERAL:** \_\_\_\_\_  
Concrete: \_\_\_\_\_  
Plumbing: \_\_\_\_\_  
Water/Sewer: \_\_\_\_\_  
Insulation: \_\_\_\_\_  
Roofing: \_\_\_\_\_  
Siding: \_\_\_\_\_  
Other: \_\_\_\_\_

Carpentry: \_\_\_\_\_  
Electrical: \_\_\_\_\_  
Excavator: \_\_\_\_\_  
HVAC: \_\_\_\_\_  
Masonry: \_\_\_\_\_  
Gypsum: \_\_\_\_\_  
EFIS: \_\_\_\_\_

### OWNER/CONTRACTOR

**OWNER:** \_\_\_\_\_  
Street: \_\_\_\_\_  
City, State, Zip: \_\_\_\_\_  
Phone: (\_\_\_\_) \_\_\_\_\_  
Fax: (\_\_\_\_) \_\_\_\_\_  
E-mail: \_\_\_\_\_

**CONTRACTOR:** \_\_\_\_\_  
Street: \_\_\_\_\_  
City, State, Zip: \_\_\_\_\_  
Phone: (\_\_\_\_) \_\_\_\_\_  
Fax: (\_\_\_\_) \_\_\_\_\_  
E-mail: \_\_\_\_\_

I hereby declare that the above and attached information is correct and agree, in consideration of and upon issuance of a Building & Use Permit, to do or allow to be done only such work herewith applied for, and that such premises and its existing and proposed buildings or structures shall be used or allowed to be used for only such purposes as are set forth above or other uses permitted in the district.

\_\_\_\_\_  
(Owners Signature)

\_\_\_\_\_  
(Contractors Signature)

Issued By: \_\_\_\_\_  
(Building Official)

Date: \_\_\_\_\_  
(Building Official)



# Letter of Intent

## Electrical Contractors

**Date:** \_\_\_\_\_

**Project Address:** \_\_\_\_\_

**Plainfield, Illinois**

To Whom It May Concern:

It is the intent of \_\_\_\_\_ (name of company) to perform the electrical work at the above address in Plainfield, Illinois as a subcontractor for \_\_\_\_\_ (name of general contractor).

**Name of Company:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**City, State, Zip:** \_\_\_\_\_

**Contact Person:** \_\_\_\_\_

**Contact Number:** \_\_\_\_\_

**Signature of Contractor:** \_\_\_\_\_

**The Building Department must be notified in writing to any changes to contractors.**



# Letter of Intent

## Plumbing Contractors

**Date:** \_\_\_\_\_

**Project Address:** \_\_\_\_\_

**Plainfield, Illinois**

To Whom It May Concern:

It is the intent of \_\_\_\_\_ (name of company) to perform the plumbing work at the above address in Plainfield, Illinois as a subcontractor for \_\_\_\_\_ (name of general contractor).

**Name of Company:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**City, State, Zip:** \_\_\_\_\_

**Contact Person:** \_\_\_\_\_

**Contact Number:** \_\_\_\_\_

**Signature of Contractor:** \_\_\_\_\_

**The Building Department must be notified in writing to any changes to contractors.**

# VILLAGE OF PLAINFIELD

## CONSTRUCTION CONDUCT

The Village of Plainfield has established a variety of regulations to protect and promote the health, safety and general welfare of the citizens. In general terms, the Village expects construction projects to be conducted with consideration and courtesy towards neighboring residents. Among these regulations, contractors and sub-contractors should be aware of the following critical areas:

- **STREETS AND SIDEWALKS** – All streets and sidewalks shall be kept free of rubbish, debris, dirt, gravel and mud during all phases of construction. Streets shall be cleaned day-to-day or as deemed necessary upon determination by the Village Building Official.
- **DUST CONTROL** – Construction and demolition projects causing dust and airborne particles must take all necessary steps to control such dust. This may include watering down work sites.
- **MATERIAL ON PUBLIC PROPERTY** – Upon completion of related work, all material shall be promptly removed from public property including all streets, alleys and sidewalks. Such public property shall be restored to its pre-construction condition.
- **RUBBISH CONTROL** – All construction rubbish and waste materials must be properly contained in a metal container at all times during the construction project to maintain an orderly condition.
- **OPEN BURNING** – No person or contractor shall cause or allow the burning of refuse or construction debris on any site within Village limits. If open burning does occur, a “Stop Work” order shall be posted immediately, the fire extinguished, the site cleaned of all debris and a fine of up to \$500 shall be imposed, before the stop work is removed and construction continues.

Signature: \_\_\_\_\_

# Addition Material Worksheet

NAME: \_\_\_\_\_ ADDRESS: \_\_\_\_\_

Indicate height of the building to the peak of the roof

Insulation Baffles \_\_\_\_\_  
 Ceiling Joist \_\_\_\_\_  
 @16" O.C.

Ceiling finish \_\_\_\_\_  
 Insulation - Ceiling \_\_\_\_\_  
 R30 min.  
 Interior wall finish \_\_\_\_\_

Smoke detectors are required on each level plus one in each sleeping room (110V - Series) interconnected

Electrical wiring must be in conduit

There must be a ground fault circuit in any outlets within 6 feet of any water supply

Arc fault interupters in all bedrooms

Carbon monoxide detector shall be located on each level within 15 feet from sleeping rooms

Heating - \_\_\_\_\_

Finished floor material \_\_\_\_\_  
 Sub floor material \_\_\_\_\_

Floor framing \_\_\_\_\_  
 @ 16" O.C.

Indicate means of pinning (rebar) to existing foundation

1/2" plate bolts maximum 6' O.C. 2 per piece and 12" from ends embedded into found. wall min. 7"

4" finished concrete floor w/ vapor barrier and/or 2" slush coat in crawl space w/ vapor barrier

Provide access to crawl space 18" x 24"

Concrete footing 10" x 20" min.

Roof Covering and Sheathing paper \_\_\_\_\_  
 Ice damn protection (Ice and Water sheild) \_\_\_\_\_  
 Roof sheathing \_\_\_\_\_  
 Roof framing \_\_\_\_\_  
 @ 16" O.C.

Gutters are required

Truss clips (if applicable)

Top plates to be lapped on all walls

Insulation - Walls \_\_\_\_\_  
 R13 min.

Wall framing \_\_\_\_\_  
 @16" O.C.

Headers to be 2- \_\_\_\_\_

Windows over 4 feet wide must have 2- 2x4's on the sill

Wall sheathing to be a minimum 1/2" wood sheathing

Housewrap is required

Exterior wall finish \_\_\_\_\_

Treated plate \_\_\_\_\_

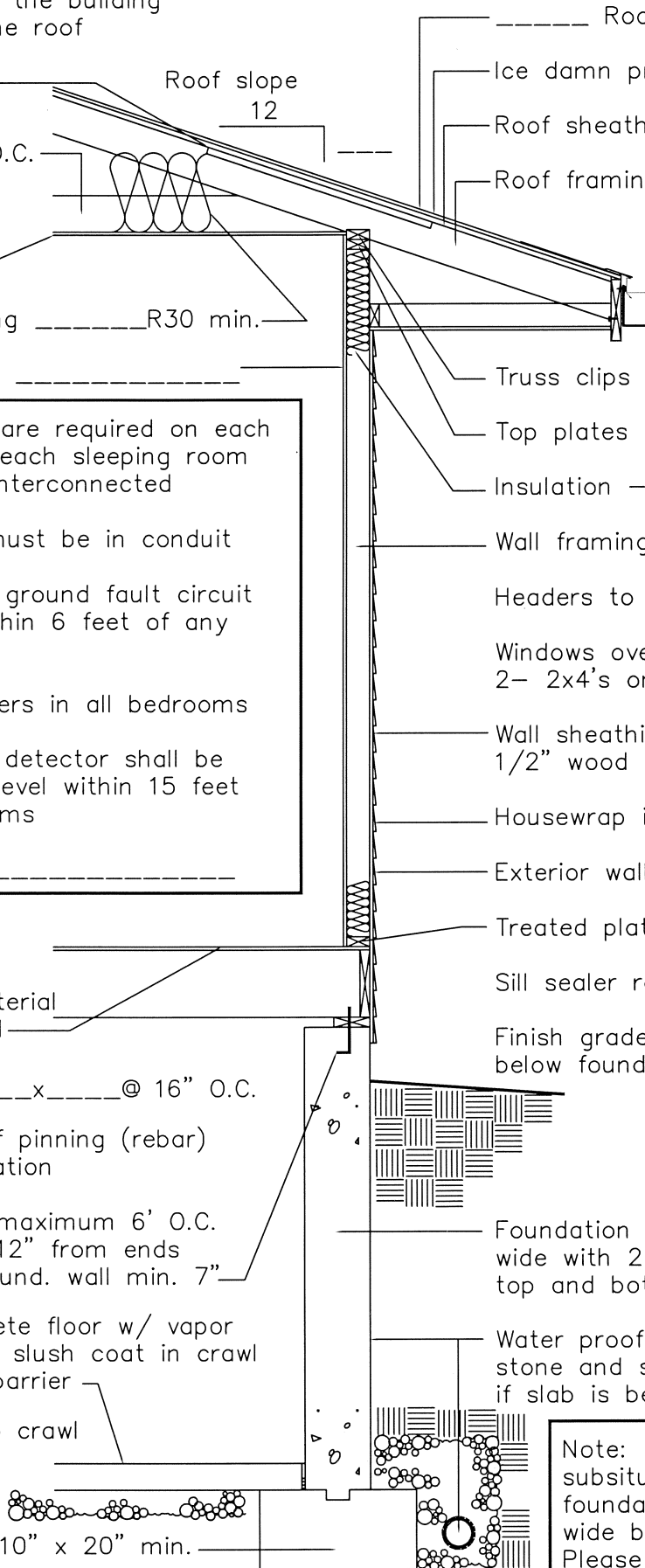
Sill sealer required

Finish grade minimum 6" below foundation

Foundation Wall - minimum 8" wide with 2 - #4 rebar located top and bottom of wall

Water proofing, drain tile with stone and sump pump required if slab is below finished grade

Note: Trench foundation may be subsituted in lieu of footing and foundation wall. Trench to be 12" wide by 42" deep for slab only. Please contact building department if allowed at permit application.



# VILLAGE OF PLAINFIELD

## INSPECTION LIST FOR ADDITIONS/REMODELING

THE CUT-OFF TIME FOR SCHEDULING INSPECTIONS IS 3:00 P.M.

(NO EXCEPTIONS)

CANCELLATIONS: **Inspections cancelled after 8:30 a.m. will be charged a re-inspection fee (NO EXCEPTIONS) and it is the responsibility of the contractor to reschedule the inspection.**

### BUILDING INSPECTIONS:

- FOOTING
- FOUNDATION WALL
- BACKFILL
- GARAGE FLOOR
- BASEMENT FLOOR
- DRIVEWAY
- APRON
- FRONT STOOP – When in excess of 9 square feet or being used for structural support.
- PUBLIC WALK
- HOUSEWRAP
- ROUGH-IN
- INSULATION
- FINAL

## INSPECTION LIST ADDITION/REMODELING CONTINUED

### ELECTRICAL INSPECTIONS:

- ❑ UNDERGROUND
- ❑ ROUGH-IN
- ❑ FINAL

### PLUMBING INSPECTIONS:

- ❑ UNDERGROUND
- ❑ ROUGH-IN
- ❑ FINAL

### GENERAL NOTES:

- ❑ **Spot survey must be approved 24 hours prior to Backfill inspection.**
- ❑ **All Electrical, Plumbing and HVAC must be completed by Rough inspection.**
- ❑ **Entire building envelope must be watertight, water meter installed by Rough inspection.**
- ❑ **Exterior completed and interior in a move-in condition by Final inspection.**
- ❑ **HVAC inspections are inspected at the Rough and Final building inspections.**
- ❑ **Re-inspection fees are applied, if an inspection does not pass.**
- ❑ **If exterior covering is started prior to rough inspection (i.e. siding, brick, and EIFS) then a house wrap inspection is required.**
- ❑ **Separate deck and patio permits will be required if not included on house plan.**
- ❑ **Final grade survey must be turned in and approved 24 hours prior to scheduling a Final inspection.**
- ❑ **Carbon Monoxide Alarm(s) in operating condition within 15 feet of every room used for sleeping purposes. Effective January 1, 2007, The Carbon Monoxide Alarm Detector Act (Public Act 094-0741) will be in effect. See attached law.**

ADDITIONAL INSPECTIONS MAY BE REQUIRED AS THE BUILDING DEPARTMENT  
DEEMS NECESSARY.