

VILLAGE OF PLAINFIELD

STORAGE SHED APPLICATION REQUIREMENTS (DETACHED)

The following is a guideline of requirements that need to be met along with the completed application.

APPLICATION:

- ❖ Completed application.
- ❖ If any electrical is being installed, indicate so on the permit application.
- ❖ Two (2) copies of the plat of survey indicating where the shed will be located.
- ❖ Information/Brochure indicating material, size, framing, and design of shed.
- ❖ Check with your Homeowners Association regarding covenant restrictions.
- ❖ Contact JULIE, INC. @ 1 (800) 892-0123 – Two (2) working days prior to digging to locate utilities.

CODE REQUIREMENTS:

- ❖ The shed height cannot exceed fifteen (15') feet.
- ❖ The maximum size of the shed cannot exceed five hundred (500) square feet.
- ❖ A foundation is not required, but you need to indicate what the shed will be bearing (resting) on and how the shed will be anchored to the ground.
- ❖ The shed has to be a minimum of five (5') feet from the rear and interior side yard. If you have easement property greater than the five (5') feet you must go by that distance.
- ❖ The shed cannot be placed inside any easement. If you have a “Corner Lot” there are restrictions on where the shed can be placed.
- ❖ See Zoning Ordinance; Section 9-16, Accessory Buildings, and Uses of Land. (Attached) or @ www.plainfield-il.org.

INSPECTIONS:

- ❖ Pre-pour inspection required if shed will rest on a concrete slab.
- ❖ Final Inspection.

PERMIT FEE:

- ❖ The permit fee is \$20.00 for a shed permit; the fee is due at time of issuance.

NOTE: If permit is not picked up within 30 days of approval it will be VOIDED and you will have to reapply.

VILLAGE OF PLAINFIELD

SHED PERMIT APPLICATION

ADDRESS: _____ Zoning: _____

Subdivision: _____

Flood Plain: YES / NO

Shed Size (LxWxH): _____

Shed Material: _____

Is Shed resting on a concrete slab: YES NO

Is Shed Going to have electricity: YES NO

Estimated Value: \$ _____

OWNER/CONTRACTOR

OWNER: _____

CONTRACTOR: _____

Street: _____

Street: _____

City, State, Zip: _____

City, State, Zip: _____

Phone: (____) _____

Phone: (____) _____

Fax: (____) _____

Fax: (____) _____

E-Mail: _____

E-Mail: _____

ELECTRICAL CONTRACTOR: _____

I hereby declare that the above and attached information is correct and agree, in consideration of and upon issuance of a Building & Use Permit, to do or allow to be done only such work herewith applied for, and that such premises and its existing and proposed buildings or structures shall be used or allowed to be used for only such purposes as are set forth above or other uses permitted in the district.

(Owner's Signature)

(Contractor's Signature)

Issued By: _____
(Building Official)

Date: _____
(Building Official)

14400 S. Coil Plus Drive, Plainfield, IL 60544
Phone (815) 439-2937 Fax (815) 609-6114 Web www.plainfield-il.org

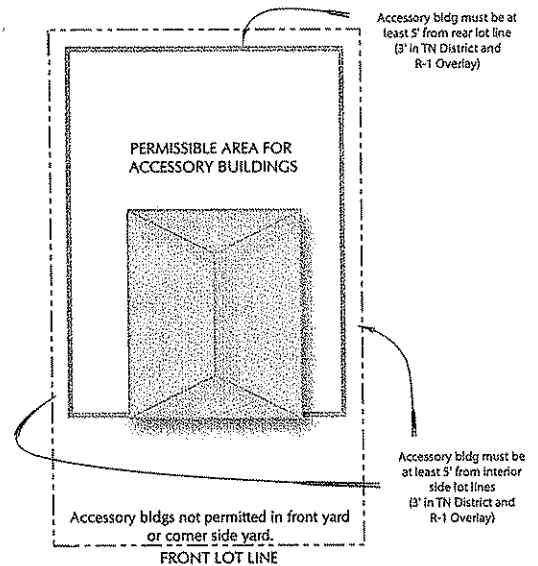
Sec. 9-15. BUILDING HEIGHT AND BULK

- (1) **Height limits.** *Building height* limits shall be as set forth under each zoning district for all *buildings*, structures and uses of land. Exceptions to height limits are:
 - a. Chimneys, ornamental towers, scenery lofts, monuments, cupolas, domes, spires, steeples, parapet walls, and similar structures and necessary mechanical appurtenances may be erected to their customary height; and
 - b. Freestanding transmitting towers and freestanding radio towers in residential districts may extend to a height of 60 feet, as measured from the mean elevation of the finished lot grade; and
 - c. Transmitting towers and radio towers employing guide wires shall be permitted only as a special use.
- (2) **Bulk and density regulations.** *Bulk and density regulations* shall be as set forth under each zoning district for all buildings, structures, and uses of land.

Sec. 9-16. ACCESSORY BUILDINGS, STRUCTURES, AND USES OF LAND

- (1) **Location.** *Accessory buildings*, may be attached or detached from the *principal building*. *Accessory uses* may be within an accessory building or within the *principal building*. Detached accessory buildings, structures or uses may be located in the rear yard or interior side yard of any zoning district as follows:
 - a. If located outside the TN District or the R-1 Overlay, detached accessory buildings or structures shall not be placed within five feet of any rear or interior side lot line and shall not be located within an easement.

FIGURE II-1. Permissible Area for Accessory Buildings



Accessory buildings shall not be located within easements. Maximum lot coverage and maximum impervious area coverage requirements may limit the size of accessory buildings.